

**SING CORPOR
PATRICIA STRE
MAYS HILL**

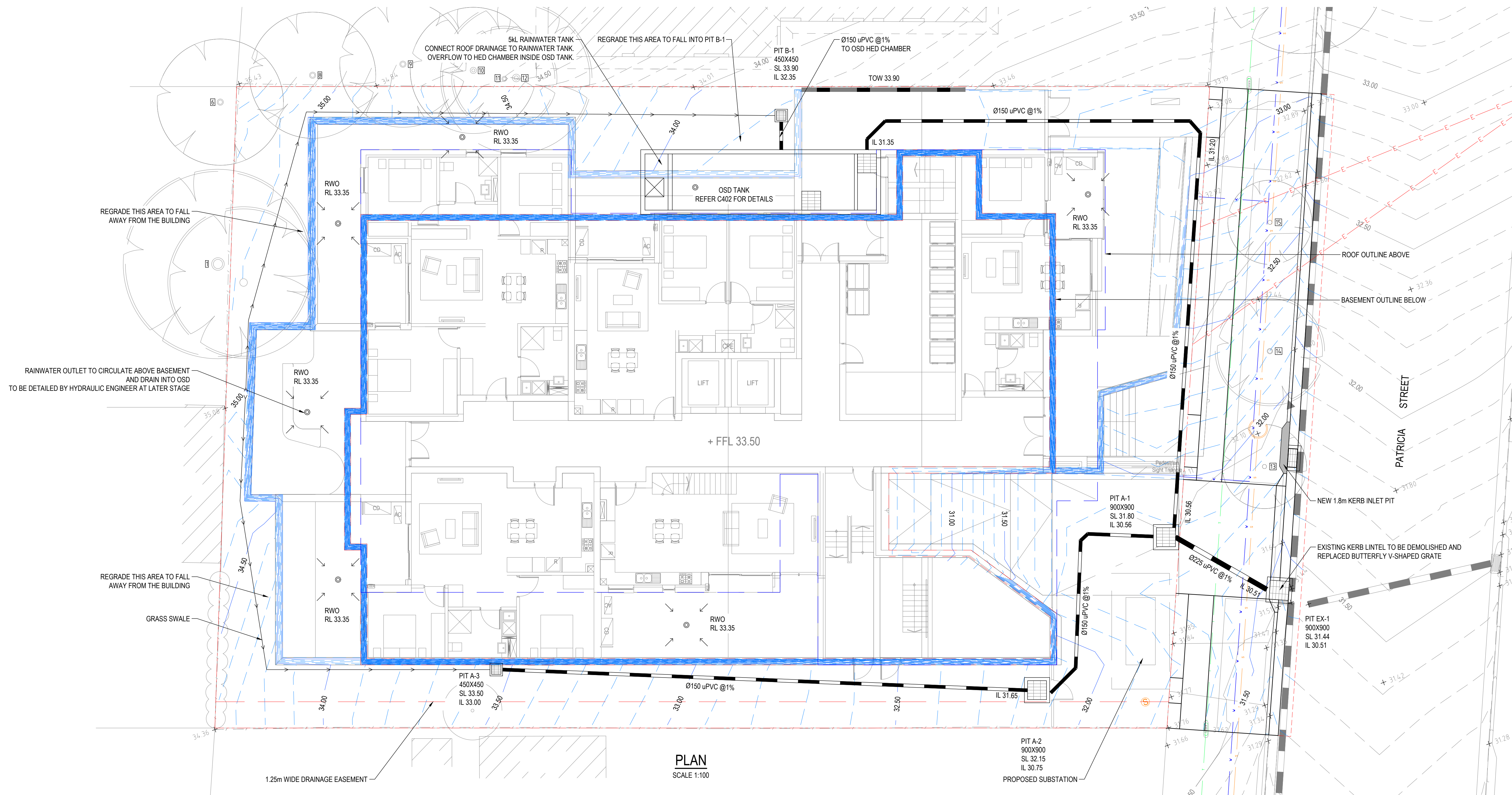
CIVIL DRAWING LIST

C000	COVER SHEET
C001	STANDARD NOTES
C101	SITE PLAN
C201	BULK EARTHWORKS
C210	EROSION & SEDIMENT CONTROL
C311	PATRICIA STREET DRIVEWAY PLAN & LONG. SECTIONS
C401	DRAINAGE LAYOUT
C402	DRAINAGE DETAILS
C421	OSD CATCHMENT AREA
C422	UPSTREAM CATCHMENT PLAN
C501	PATRICIA STREET PUBLIC DOMAIN PLAN



LOCALITY PLAN

NTS



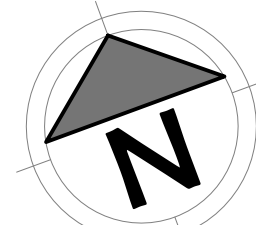
PLAN
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WARNING

Beware of underground services
The locations of underground services are approximate only and their exact position should be proven on site. No guarantee is given that all existing services are shown.

REVISIONS:			
No.	REVISION DESCRIPTION	DRAWN	DATE
D	ISSUED FOR DEVELOPMENT APPLICATION	HB	14.01.22
C	ISSUED FOR DEVELOPMENT APPLICATION	HB	09.11.21
B	ISSUED FOR DEVELOPMENT APPLICATION	HB	01.10.21
A	PRELIMINARY ISSUE	HB	17.09.21

SCALE BAR			
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SCALE 1:100			
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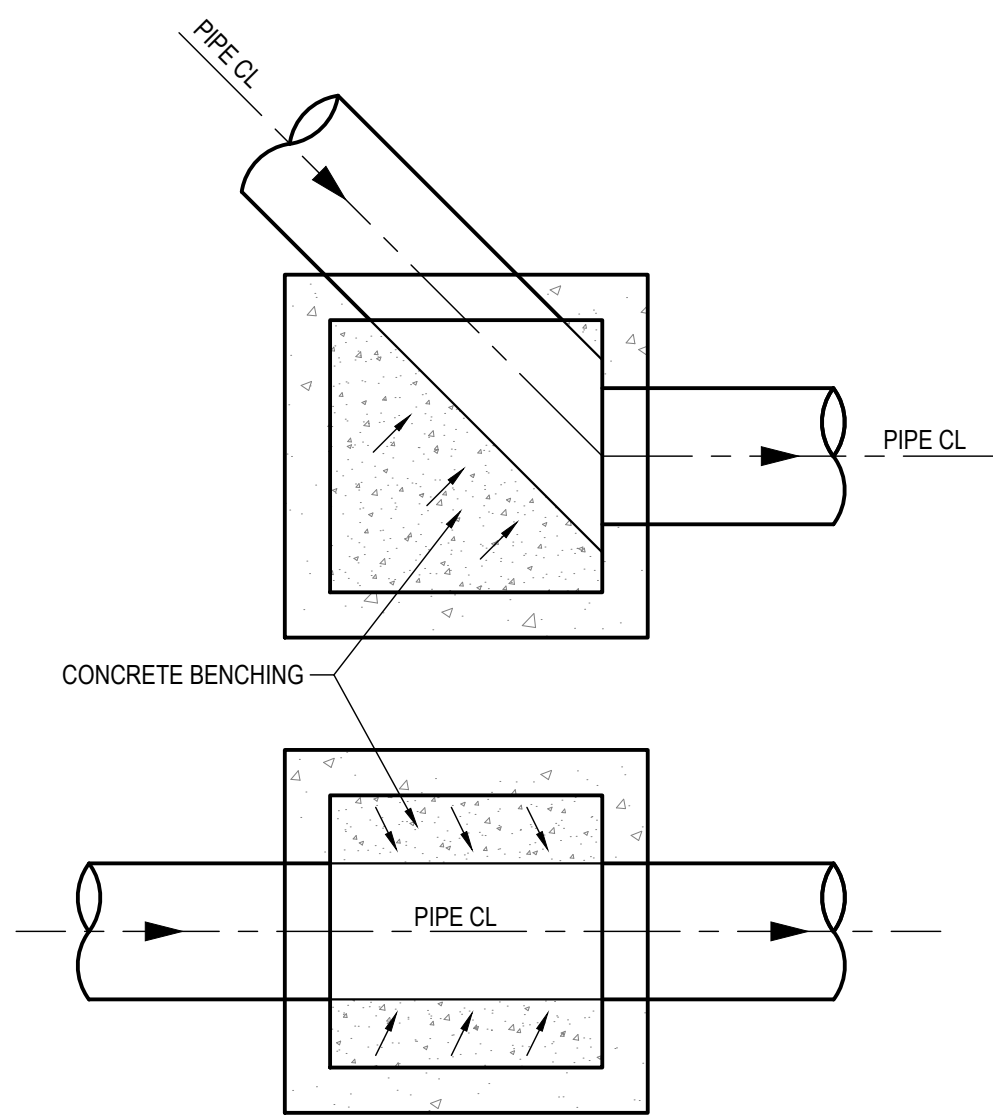
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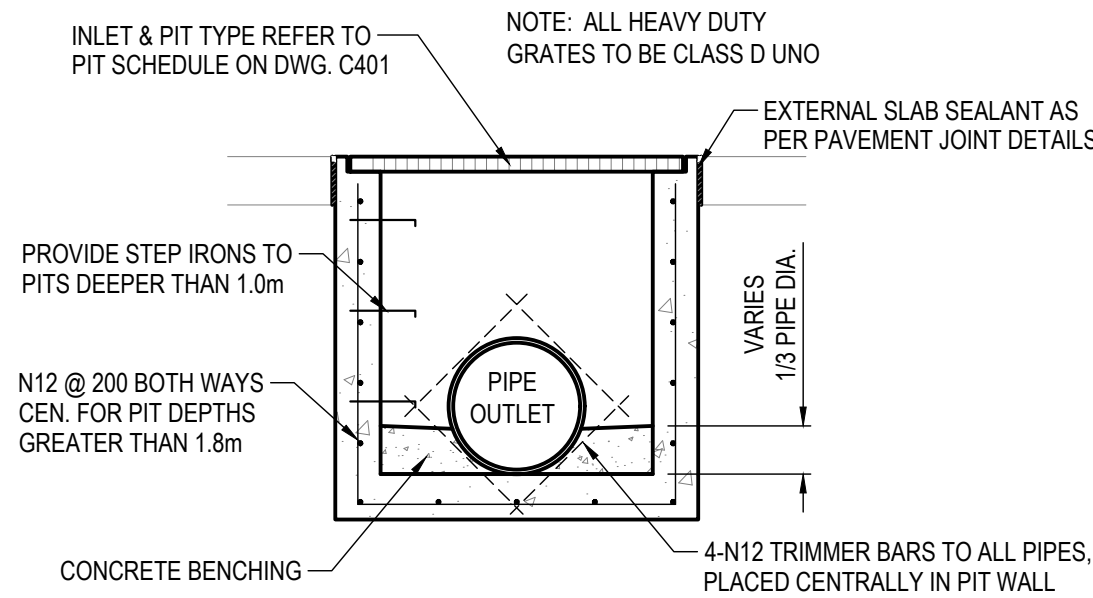
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MCGREGOR WESTLAKE ARCHITECTURE LEVEL 5, 68-72 WENTWORTH AVENUE SURRY HILLS NSW 2010	
ARCHITECT	
MCGREGOR WESTLAKE ARCHITECTURE 68-72 WENTWORTH AVENUE, SURRY HILLS NSW 2010	

PROJECT TITLE	
LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145	
DRAWING TITLE	
DRAINAGE LAYOUT	

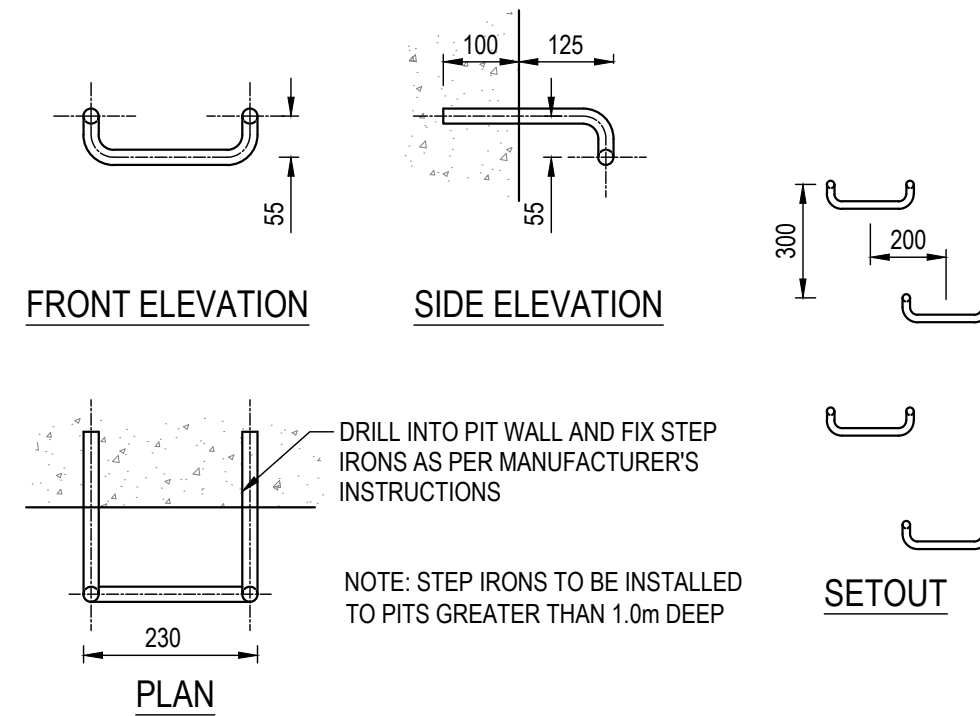
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APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
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JOB No. SY212-030	DRAWING No. C401	REVISION D	



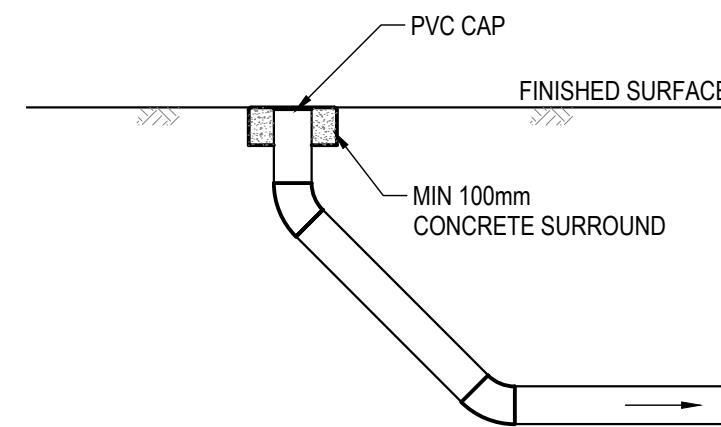
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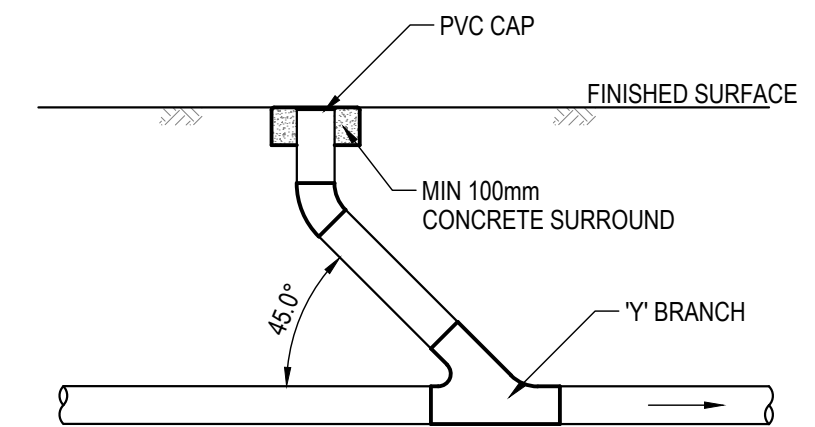
TYPICAL INLET PIT & JUNCTION PIT
SCALE 1:25



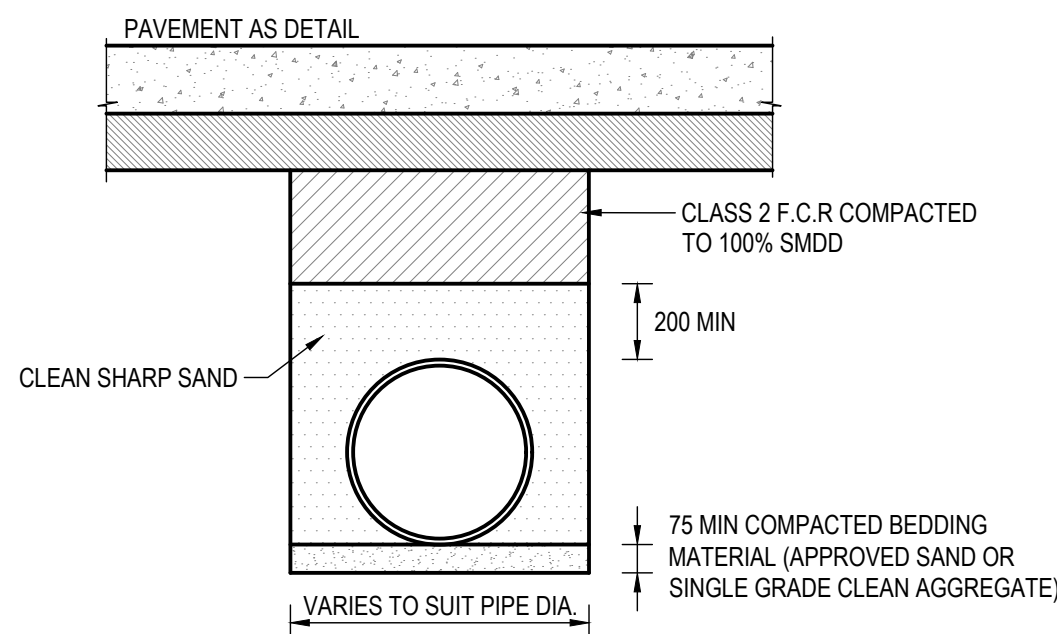
TYPICAL STEP IRON DETAIL
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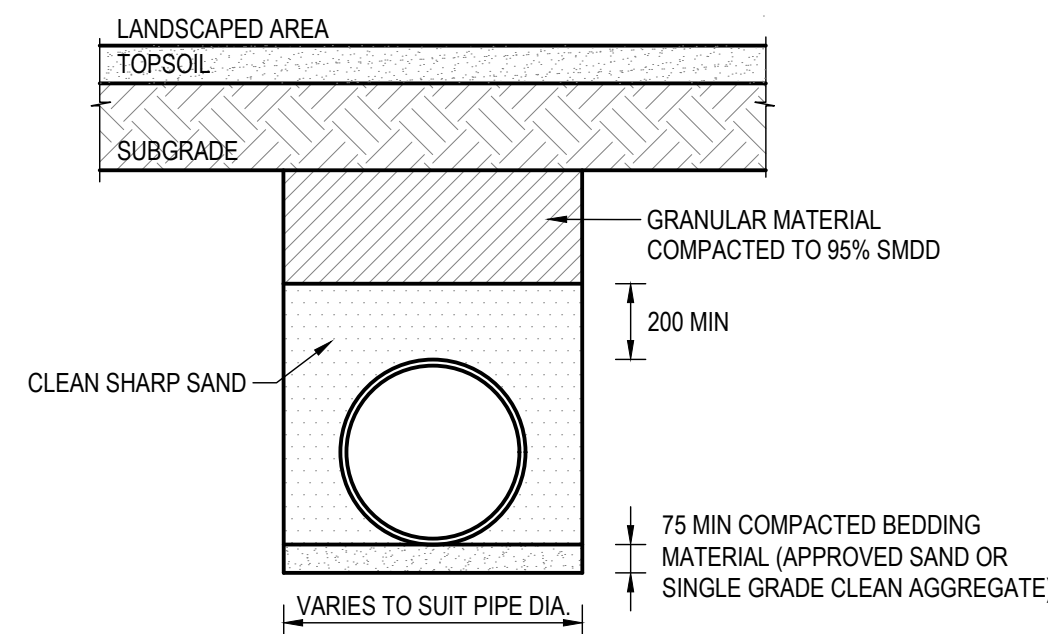
FLUSH POINT DETAIL
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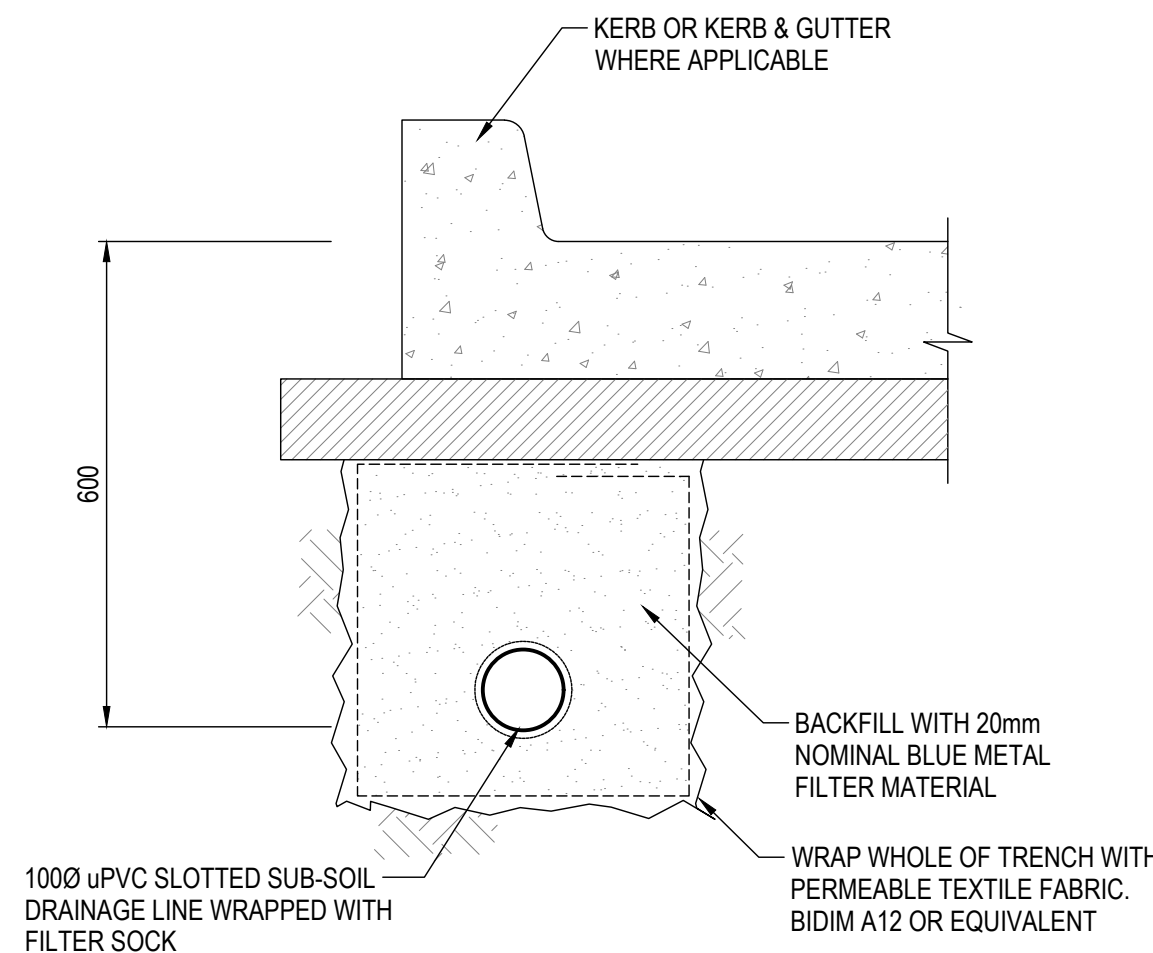
FLUSH POINT DETAIL (INLINE)
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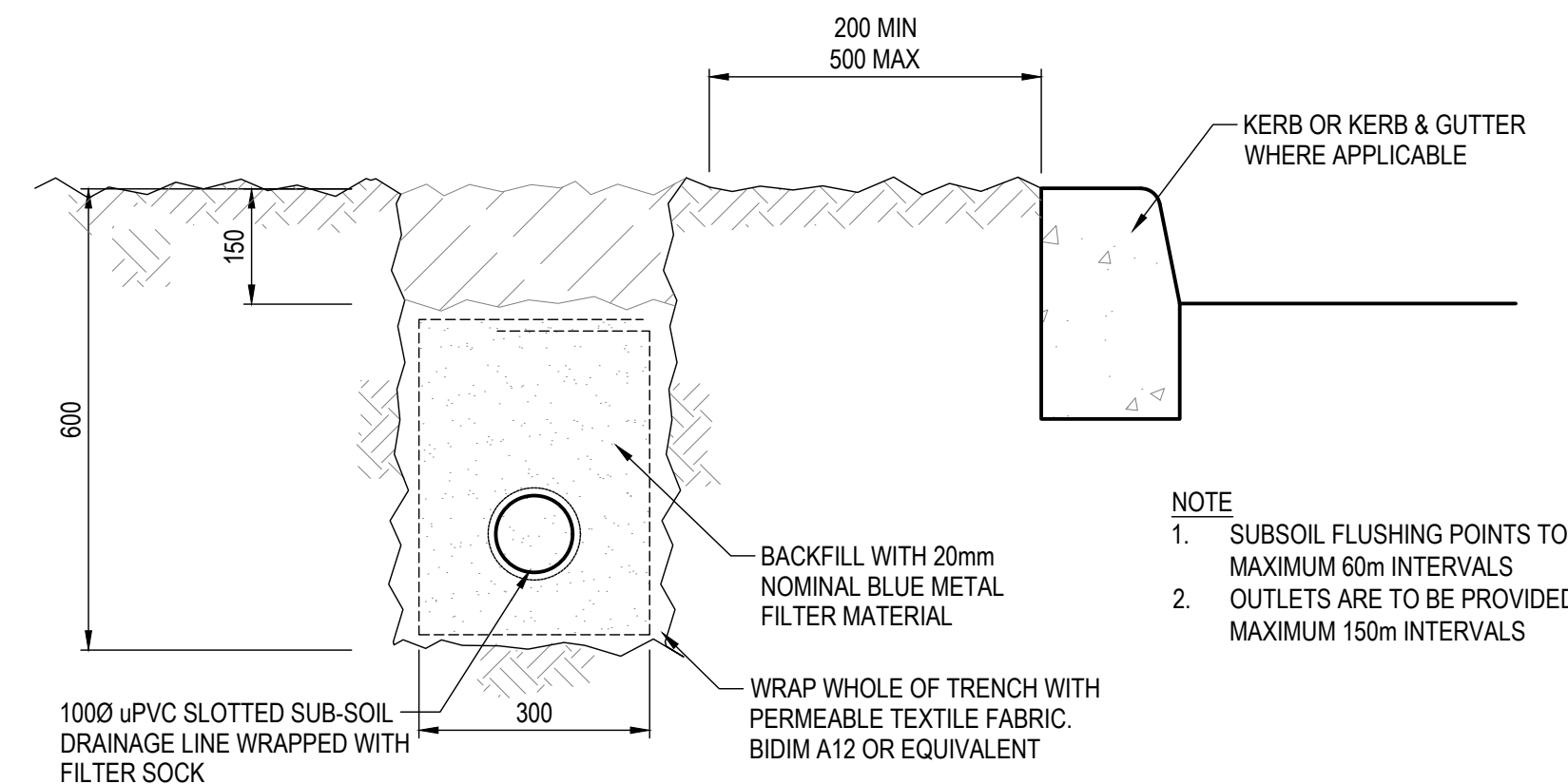
UNDER PAVEMENT PIPE BEDDING
NTS



UNDER LANDSCAPING PIPE BEDDING
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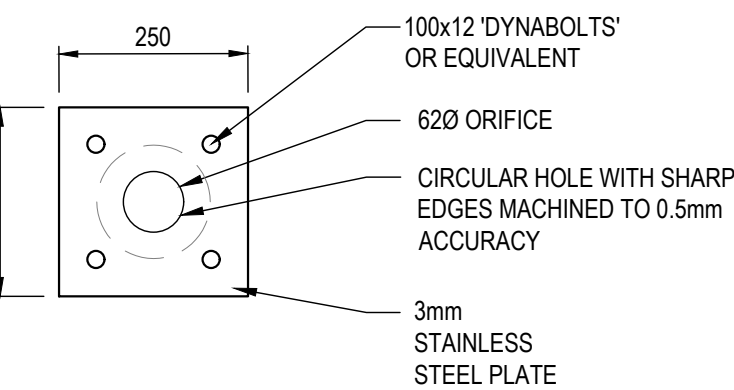
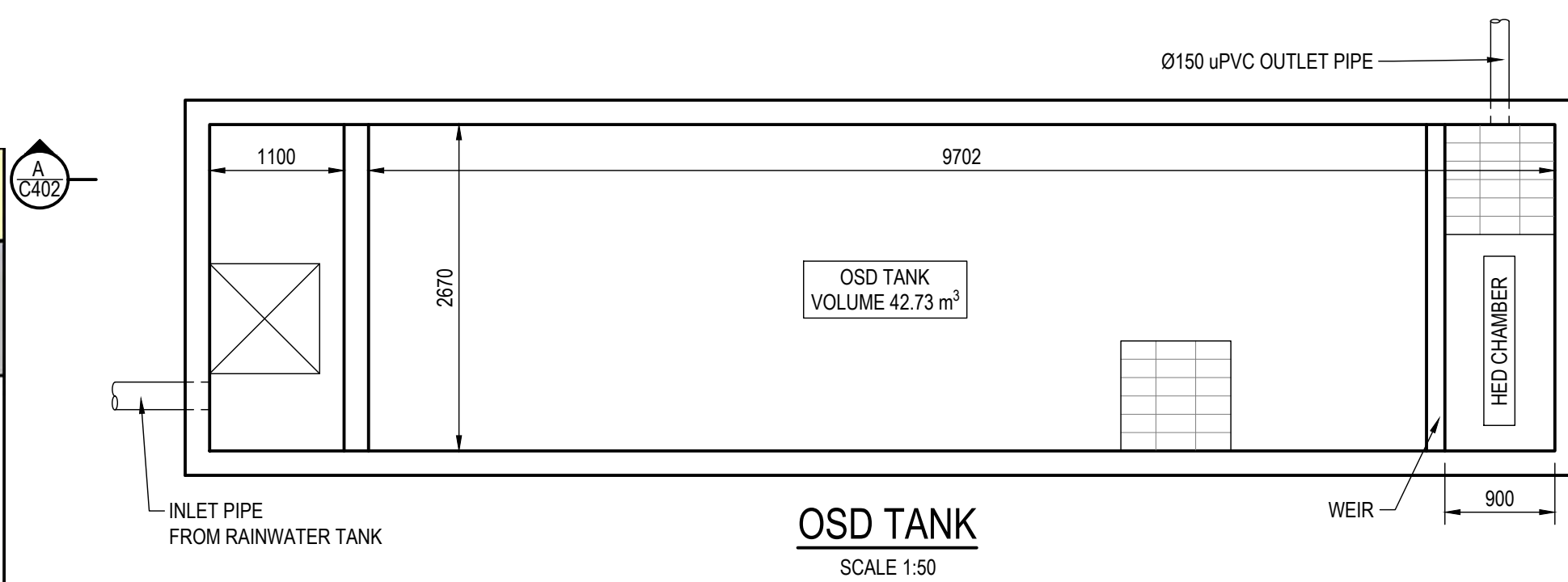


SUB-SOIL DRAIN DETAIL
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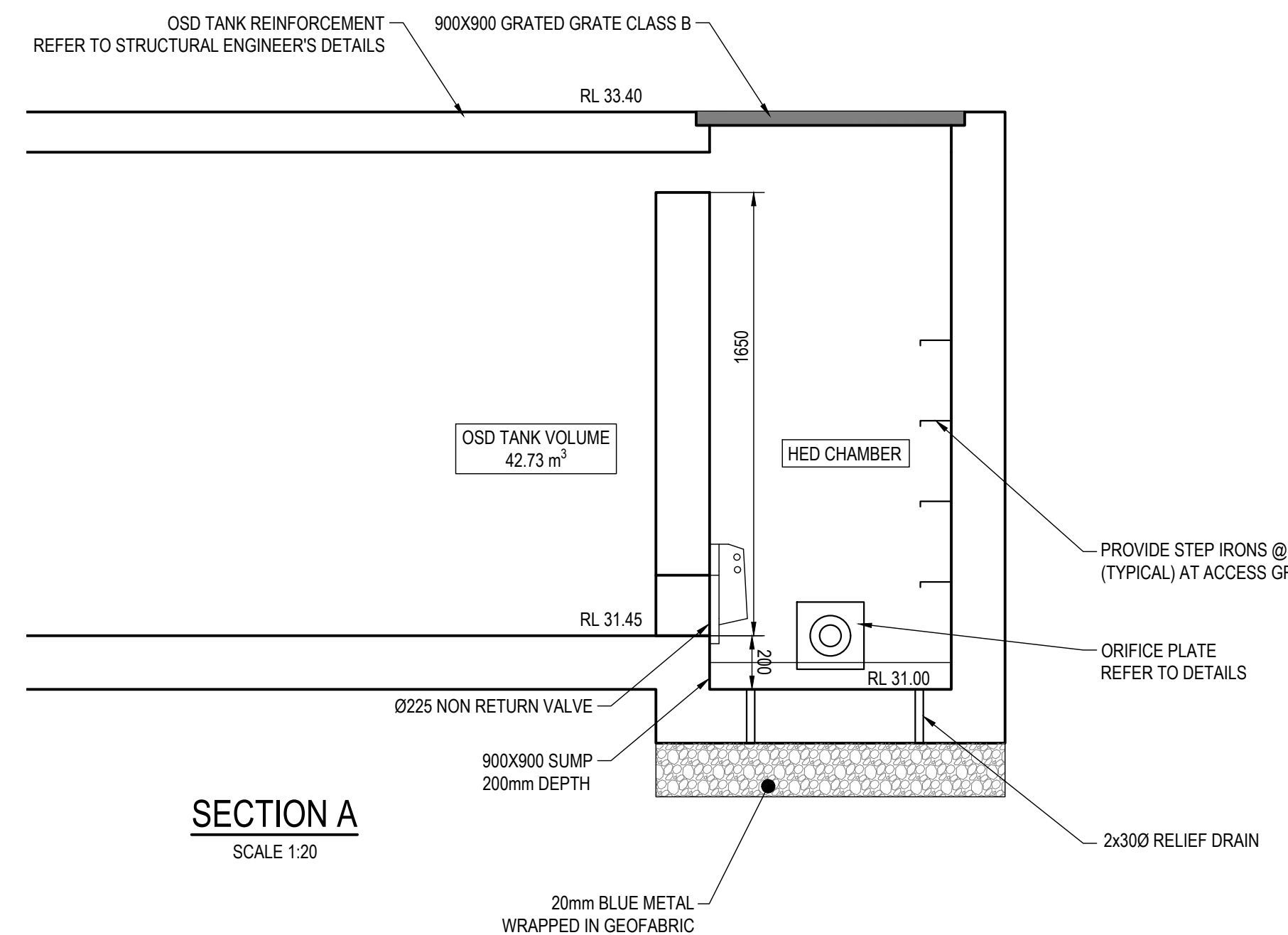
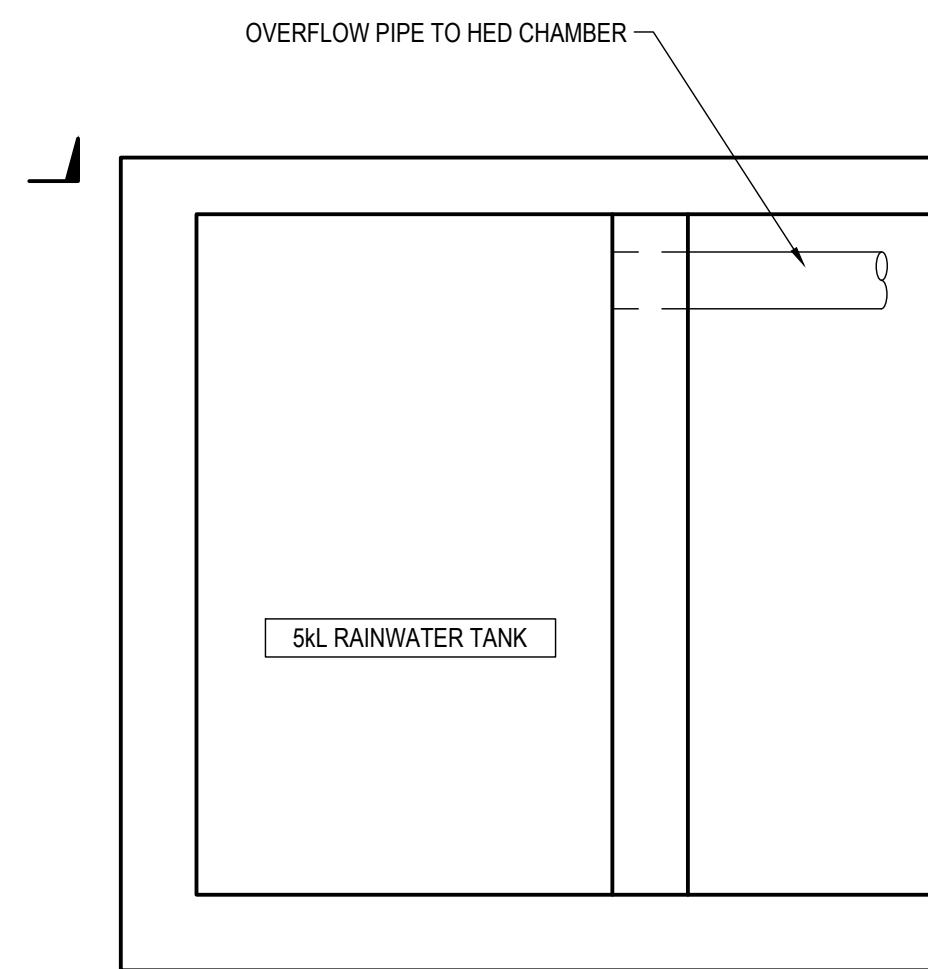
SUB-SOIL DRAIN DETAIL
SCALE 1:10

CUMBERLAND CITY COUNCIL On-Site Detention Calculation Sheet			
Project:	LAHC Mays Hill	Lot No.	74 & 75
Location:	14-16 Patricia Street	DP No.	13239
Designer:	Andrew Wallis	D.A. No.	N/A
Phone:	02 9436 0433		
OSD Area:			
	UPRCT	UPRCT	Drowned
Site Area	0.139	0.139	
Basic Storage Volume	41.82	41.82	
Basic Discharge	19.52	19.52	
Area of Site to Storage	0.105	76%	0.105 76%
Percentage of Site	75.61		75.61
Storage per ha of contributing area	396.77		396.77
Volume/PSD Adjustment	101.05		101.05
PSD for site	10.65		10.65
Maximum Head to Orifice Centre	1.650		1.650
Calculated Orifice Diameter	0.062		0.062
Maximum discharge	10.649		10.655
Head for high early discharge	1.650		1.650
High Early Discharge	10.649	100%	10.327 97%
Mean Discharge	10.649		10.491
Average Discharge per Hectare	101.032		99.538
Final Site Storage Ratio	399		403
Site Storage Volume	42.04		42.50
Volume Provided	42.73	102%	42.73 101%
Checked By:			
Date Checked:			
OSD Plan Number:			



ORIFICE PLATE DETAIL
SCALE 1:10

ORIFICE PLATE CALCULATION	
SITE AREA = 1394 m²	
OSD REQUIREMENT: PL2021/0071	
SSR = 300 m³/ha x 0.1394 ha = 41.82 m³	
PSD = 140 L/s/ha x 0.1394 ha = 19.52 L/s	
PSD ADJUSTED TO ACCOUNT FOR BYPASS	
PSD = 10.65 L/s	



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SCALE 1:20	0 1 2 3 4 5 1m 1.5 2m
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LEVEL 5, 68-72 WENTWORTH AVENUE
SURREY HILLS NSW 2010

ARCHITECT

MCGREGOR WESTLAKE ARCHITECTURE
68-72 WENTWORTH AVENUE, SURREY HILLS NSW 2010

PROJECT TITLE

LAHC - 14-16 PATRICIA STREET
14-16 PATRICIA STREET
MAYS HILL NSW 2145

DRAWING TITLE

DRAINAGE DETAILS

DRAWING STATUS

APPROVAL ISSUE
NOT TO BE USED FOR CONSTRUCTION

PROJECT LEADER	DESIGNER	SIGNATURE
AW	HB	
DRAFTSPERSON	SCALE	DATE DRAWN
HB	AS SHOWN	
JOB No.	DRAWING No.	REVISION
SY212-030	C402	D



PLAN
SCALE 1:500

NOTES

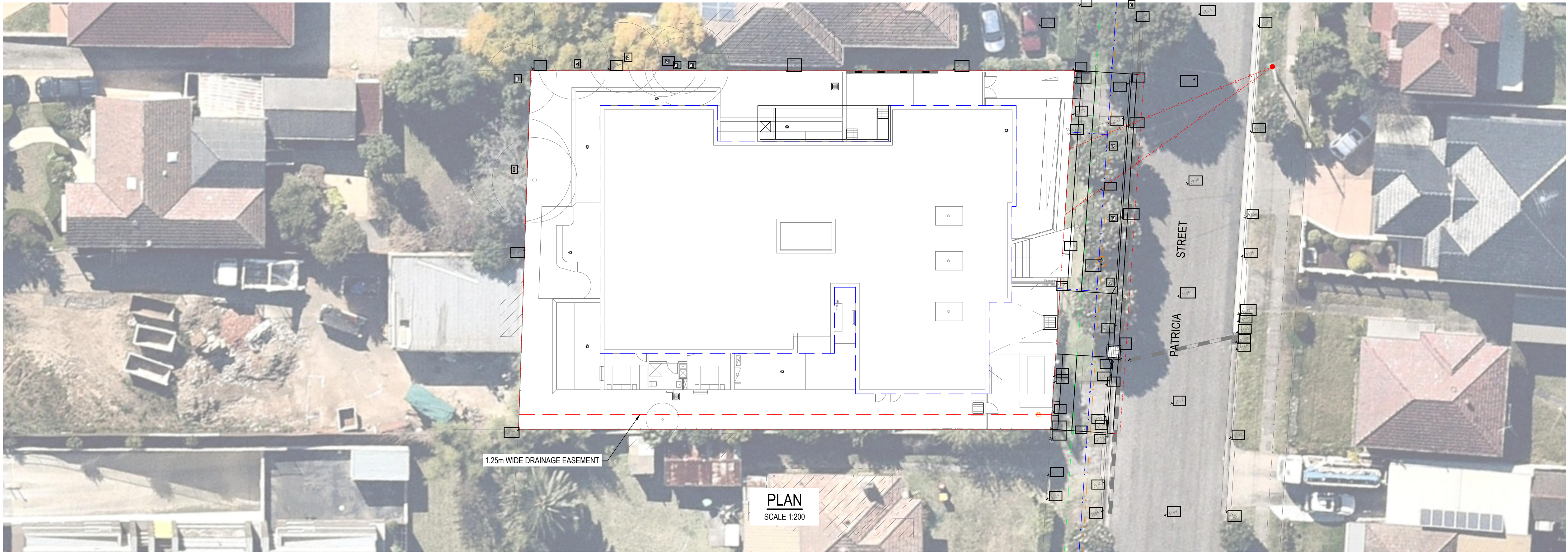
- AERIAL IMAGE SHOWN ON THIS PLAN IS BASED ON NEARMAP DATED 17.10.2021.
- 1m DEM CONTOUR IS EXTRACTED FROM NSW GOVERNMENT SPATIAL SERVICES.

WARNING

BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.

REVISIONS:				SCALE BAR <	
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GENERAL NOTES				GENERAL EARTHWORKS				UTILITY SERVICES			
G1.	ALL LEVELS SHALL BE OBTAINED FROM ESTABLISHED BMS OR SSM.			E1.	THE SITE OF THE WORKS SHALL BE PREPARED BY STRIPPING ALL EXISTING TOPSOIL, FILL AND VEGETATION.			S1.	CONDUITS TO BE PROVIDED FOR WATER AND ENERGY AUTHORITIES, TELSTRA AND OTHER SERVICES AS REQUIRED.		
G2.	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.			E2.	COMPACT SUBGRADE TO 98% OF THE STANDARD MAXIMUM DRY DENSITY WHEN TESTED IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 1289 TESTS E.1.1, OR E.1.2. THE EXPOSED SUBGRADE SHOULD BE PROOF ROLLED TO DETECT ANY SOFT OR WET AREAS WHICH SHOULD BE LOCALLY EXCAVATED AND BACK FILLED WITH SELECTED MATERIAL. THE BACK FILLING MATERIAL SHALL BE IMPORTED GRANULAR FILL OF LOW PLASTICITY, PREFERABLY CRUSHED SANDSTONE, AND TO BE PLACED IN LAYERS NOT EXCEEDING 300mm LOOSE THICKNESS AND COMPACTED TO 98% OF STANDARD MAXIMUM DRY DENSITY WITHIN 2% OF STANDARD OPTIMUM MOISTURE CONTENT. SITE WORKS ARE TO BE BATTERED TO ADJACENT PROPERTY LEVELS.			S2.	THE LOCATIONS OF UNDERGROUND SERVICES SHOWN ON THESE DRAWING'S HAVE BEEN PLOTTED FROM SURVEY AND AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.		
G3.	ALL WORKS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS AND THE DIRECTIONS OF THE SUPERINTENDENT.			E3.	NO STORMWATER IS TO POND ON ADJOINING PROPERTIES. THE SITE SHALL BE GRADED AND DRAINED SO THAT STORMWATER WILL BE DIRECTED AWAY FROM THE BUILDING PLATFORM. STORMWATER DRAINAGE SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION. ALL STORMWATER RUNOFF SHALL BE GRADED AWAY FROM THE DWELLING AND DISPOSED OF VIA SURFACE CATCHDRAINS AND STORMWATER COLLECTION PITS.			S3.	VAN DER MEER CANNOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS, ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN ARISING FROM ANY CAUSE WHATSOEVER.		
G4.	DIMENSIONS MUST NOT BE SCALED FROM DRAWINGS.			E4.	ENSURE ALL RETAINING WALLS ARE CONSTRUCTED WITH ADEQUATE SUBSOIL DRAINAGE.			S4.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.		
G5.	CONTRACTOR TO ENSURE THAT ALL ROADWORKS ARE SMOOTHLY TRANSITIONED TO EXISTING LEVELS FREE FROM ABRUPT CHANGES.							S5.	CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ON SITE INCLUDING HAND EXCAVATION WHERE NECESSARY.		
G6.	THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR. FURTHER, THE LOCATION OF RECOVERY MARKS SHOULD BE VERIFIED AND CONFIRMED BY THE CONTRACTOR AND ANY DISCREPANCIES SHOULD BE CLARIFIED IN WRITING WITH THE SUPERINTENDENT PRIOR TO THE COMMENCEMENT OF WORK.							S6.	CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION OR FUTURE WORKS.		
G7.	AT COMPLETION OF WORKS ALL ADJOINING DISTURBED AREAS ARE TO BE REINSTATED TO THE 'AS FOUND' CONDITION.							S7.	CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.		
G8.	THE CONTRACTOR SHALL ENSURE ALL AREAS DRAIN WITH A MINIMUM FALL OF 1% (1:100) GRADE TO OUTLETS UNLESS INDICATED OTHERWISE. NO WORKS SHALL CAUSE PONDING OF STORMWATER ON UPSTREAM PROPERTIES OR CONCENTRATE RUNOFF ONTO DOWNSTREAM PROPERTIES.										
G9.	THESE PLANS SHALL BE READ IN CONJUNCTION WITH APPROVED LANDSCAPE, ARCHITECTURAL, ELECTRICAL, RETICULATION, WATER & SEWER DRAWINGS AND SPECIFICATIONS AND OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED.										
G10.	THE CONTRACTOR SHALL ENSURE THAT ALL PAVEMENTS GRADE EVENLY BETWEEN NOMINATED RL'S ON PLAN AND NO POND OF WATER OCCURS.										
G11.	ALL DIMENSIONS ARE IN METERS UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METERS.										
G12.	DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STRUCTURE IN A STABLE CONDITION AND ENSURING NO PART SHALL BE OVERSTRESSED UNDER CONSTRUCTION ACTIVITIES.										
G13.	WORKMANSHIP AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT S.A.A. CODES INCLUDING ALL AMENDMENTS, AND THE LOCAL STATUTORY AUTHORITIES, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.										
G14.	THE APPROVAL OF A SUBSTITUTION SHALL BE SOUGHT FROM THE ENGINEER BUT IS NOT AN AUTHORIZATION FOR AN EXTRA. ANY EXTRAS INVOLVED MUST BE TAKEN UP WITH THE SUPERINTENDENT BEFORE THE WORK COMMENCES.										
G15.	THE CONTRACTOR IS TO EMPLOY A QUALIFIED GEOTECHNICAL ENGINEER AS REQUIRED FOR ALL GEOTECHNICAL ASPECTS OF THE BUILDING WORKS. REFER TO FOUNDATION, GROUNDWORKS AND RETENTION/SHORING NOTES. REFER ALSO TO THE GEOTECHNICAL REPORT FOR THIS PROJECT.										
SUBGRADE PREPARATION				DRAINAGE NOTES							
RW1.	REMOVE ALL VEGETATION, TOPSOIL AND DELETERIOUS MATERIAL FROM AREA OF PROPOSED BUILDING PLATFORM AND PAVEMENTS.			D1.	PIT LEVELS SHOWN ON STORMWATER DRAINAGE PLANS ARE FOR INFORMATION. EXACT PIT LEVELS TO BE ADJUSTED TO SUIT FALLS IN PAVEMENT/LANDSCAPED AREA.						
RW2.	PROOF ROLL EXPOSED SUB GRADE TO ACHIEVE A MINIMUM COMPACTION OF 98% STANDARD MAXIMUM DRY DENSITY (SMDD), DETERMINED BY THE STANDARD COMPACTION TEST IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARD 1289.5.1.1.			D2.	PITS GREATER THAN 1.2m DEEP TO BE FITTED WITH STEP IRONS.						
RW3.	REMOVE ANY SOFT, HEAVING, WET OR UNSTABLE AREAS IDENTIFIED DURING PROOF ROLLING AND REPLACE USING SELECT IMPORTED FILL COMPACTED IN LAYERS NOT EXCEEDING 200mm MEASURED LOOSE TO ACHIEVE A MINIMUM 98% STANDARD MAXIMUM DRY DENSITY.			D3.	DRAINAGE PIPES SHALL BE BACKFILLED WITH COMPACTED CLEAN SHARP SAND TO 200 ABOVE PIPE OBVERT. ADDITIONAL BACKFILL UNDER ROADS SHALL CONSIST OF CLASS 2 F.C.R. MATERIAL COMPACTED IN 200mm LAYERS TO 98% SMDD. UNDER LANDSCAPED AREAS ADDITIONAL BACKFILL SHALL CONSIST OF GRANULAR MATERIAL COMPACTED IN 200mm LAYERS TO 95% SMDD. A 3m LENGTH OF 100 Ø SLOTTED AGRICULTURAL LINE SURROUNDED BY GEOTECH STOCKING SHALL BE PROVIDED ON THE UPSTREAM SIDE OF ALL PITS.						
RW4.	NOTE THAT THE SITE IS UNDERLAIN BY EXISTING SERVICES AND COMPACTION UTILISING VIBRATION MAY NOT BE SUITABLE IN THE VICINITY OF UNDERGROUND SERVICES.			D4.	CONCRETE STORMWATER PIPES TO BE CLASS '3' UNDER ROADS AND CLASS '2' IN NON-TRAFFICED AREAS. ALL PIPES GREATER THAN 300Ø ARE TO BE RUBBER RING JOINTS U.N.O.						
RW5.	ANY FILL REQUIRED TO RAISE LEVELS TO BULK EARTHWORKS TO WITHIN 50mm OF NOMINATED LEVELS IS TO BE APPROVED GRANULAR MATERIAL COMPACTED IN LAYERS NOT EXCEEDING 300mm MEASURED LOOSE TO 98% STANDARD MAXIMUM DRY DENSITY WITHIN 2% OF STANDARD OPTIMUM MOISTURE CONTENT (SOMC).			D5.	CONCRETE PITS GREATER THAN 1.0m DEEP TO BE REINFORCED WITH N12-200 EACH WAY CENTRED, MIN. 300 LAP, CONCRETE - Fc 25MPa						
RW6.	THE CONTRACTOR IS TO PROVIDE CERTIFICATION TO THE EFFECT THAT EARTHWORKS COMPACTION TO 98% STANDARD MAXIMUM DRY DENSITY, (AS 1289 E1.1, E4.1) HAS BEEN ACHIEVED, UNLESS OTHERWISE AGREED IN WRITING BY SITE SUPERINTENDENT.			D6.	1500, 2250 & 3000 uPVC PIPES TO BE SEWER GRADE PIPE UNDER TRAFFICABLE PAVEMENT. MIN. 400 COVER UNDER NON-TRAFFICABLE PAVEMENT.						
RW7.	THE CONTRACTOR IS TO PROVIDE TO THE SITE SUPERINTENDENT A SURVEY CONFIRMATION FROM A REGISTERED SURVEYOR, CONFIRMING BULK EARTHWORKS LEVELS AS WITHIN +/-50mm OF LEVELS NOMINATED.			D7.	PIT COVERS & GRATED DRAINS IN TRAFFICABLE PAVEMENT TO BE AS 3996 CLASS D 'HEAVY DUTY' & IN NON-TRAFFICABLE AREAS TO BE AS 3996 CLASS C 'LIGHT DUTY'.						
RW8.	SUBGRADE REPLACEMENT MATERIAL IS TO CONSIST OF CLEAN, UNCONTAMINATED, WELL-GRADED MATERIAL WITH A MAXIMUM PARTICLE SIZE OF 75mm, WITH 80% LESS THAN 20mm, AND A SOAKED C.B.R. GREATER THAN 10% AND A PLASTICITY INDEX LESS THAN 12.										
RW9.	BACK FILLING FOR SERVICE TRENCHES AND REMOVED SERVICES OR PITS OR FOUNDATIONS IS TO USE APPROVED WELL-GRADED GRANULAR MATERIAL WITH MINIMUM VOIDS, (EITHER SELECT INSITU OR IMPORTED FILL), COMPACTION AS SPECIFIED ABOVE.										
RW10.	ALL EARTHWORKS TO BE UNDERTAKEN IN ACCORDANCE WITH AS3798-1996: GUIDELINES ON EARTHWORKS FOR COMMERCIAL & RESIDENTIAL DEVELOPMENTS.										
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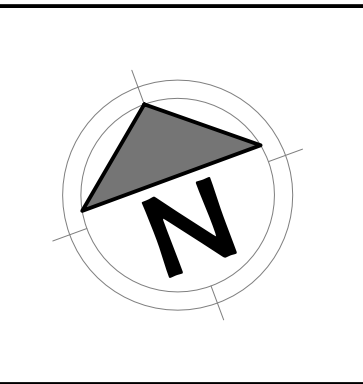
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van der Meer (NSW) Pty Ltd
A.B.N. 56 158 266 301

CLIENT	MCGREGOR WESTLAKE ARCHITECTURE LEVEL 5, 68-72 WENTWORTH AVENUE SURRY HILLS NSW 2010
ARCHITECT	MCGREGOR WESTLAKE ARCHITECTURE 68-72 WENTWORTH AVENUE, SURRY HILLS NSW 2010

PROJECT TITLE	LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145
DRAWING TITLE	SITE PLAN

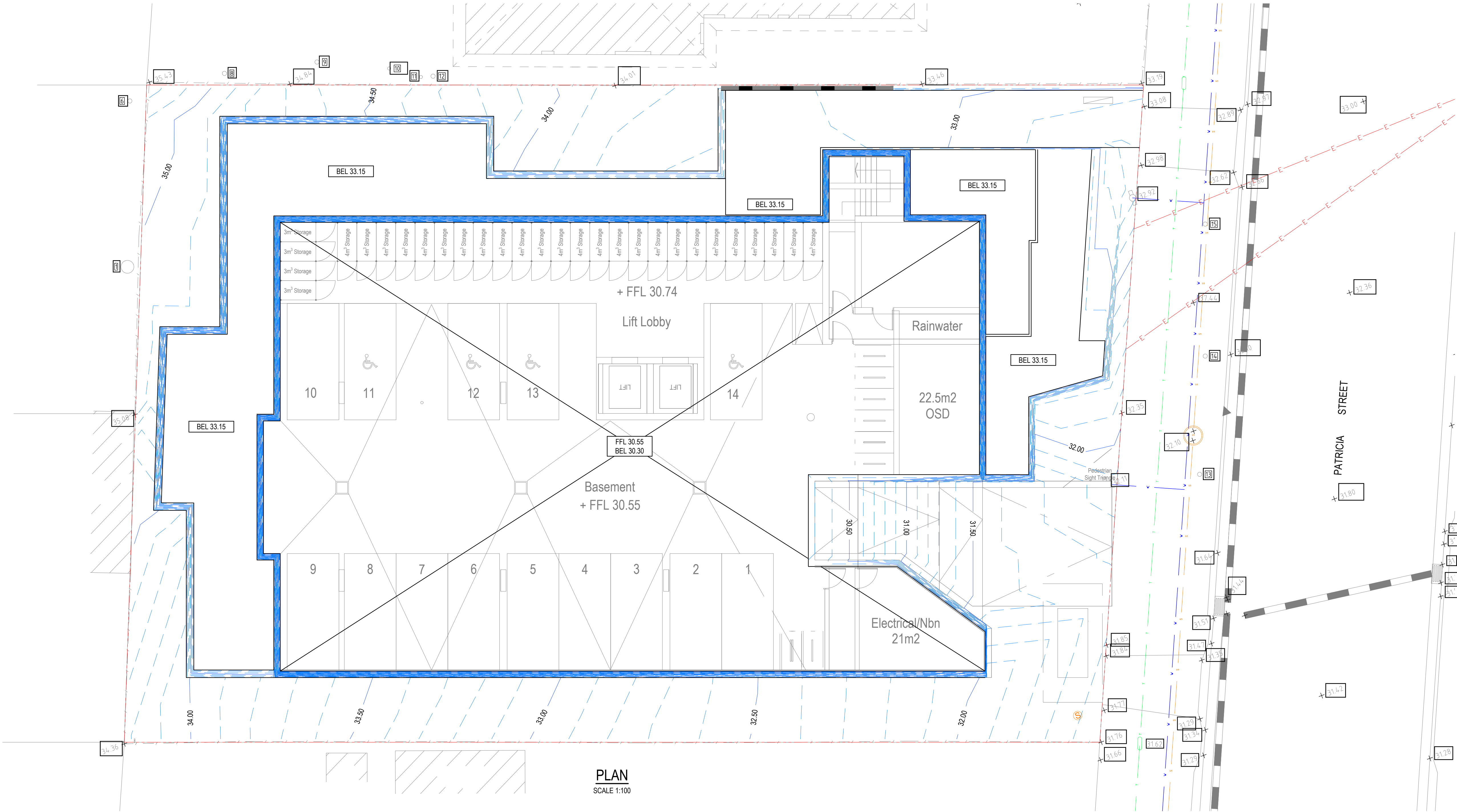
DRAWING STATUS			
APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
AW	HB		
DRAFTSPERSON	SCALE	DATE DRAWN	SHEET SIZE
HB	AS SHOWN		A1
JOB No.	DRAWING No.	REVISION	
SY212-030	C101	C	

BULK EARTHWORKS QUANTITIES

TOTAL CUT VOLUME: 2,583 m³
TOTAL FILL VOLUME: 31 m³
BALANCE: 2,552 m³ CUT

NOTE

1. B.E.L. REFERS TO BULK EXCAVATION LEVEL
2. F.F.L. REFERS TO FINISHED FLOOR LEVEL
3. REFER TO CIVIL SPECIFICATIONS ON DRAWING C001 FOR SUBGRADE PREPARATION REQUIREMENTS
4. THIS PLAN IS TO BE READ IN CONJUNCTION WITH:
 - THE GEOTECHNICAL REPORT
 - STRUCTURAL GROUND FLOOR ARRANGEMENT PLAN
 - ARCHITECT'S GENERAL ARRANGEMENT PLAN
5. BUILDING SLAB BULK EARTHWORKS LEVELS BASED ON EXCAVATION FOR:
 - 150MM SLAB THICKNESS (TBC WITH STRUCTURAL ENG.)
 - 100MM FINE CRUSHED ROCK (TBC WITH STRUCTURAL ENG.)
 - 150MM ON LANDSCAPE AREA
6. CUT AND FILL QUANTITIES ARE TO EXISTING SURFACE

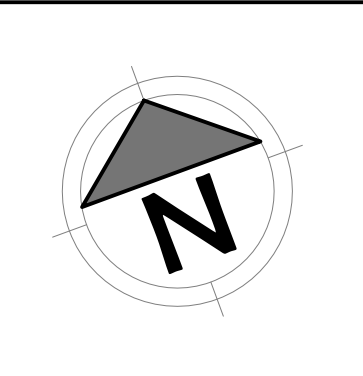


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B	ISSUED FOR DEVELOPMENT APPLICATION	HB	01.10.21
A	PRELIMINARY ISSUE	HB	17.09.21

SCALE BAR 0 1 2 3 4 5m SCALE 1:100	
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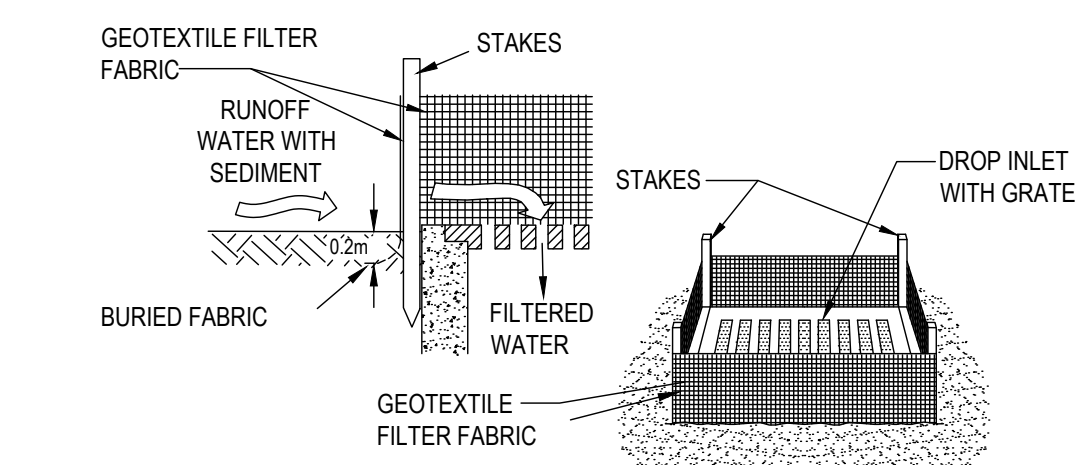
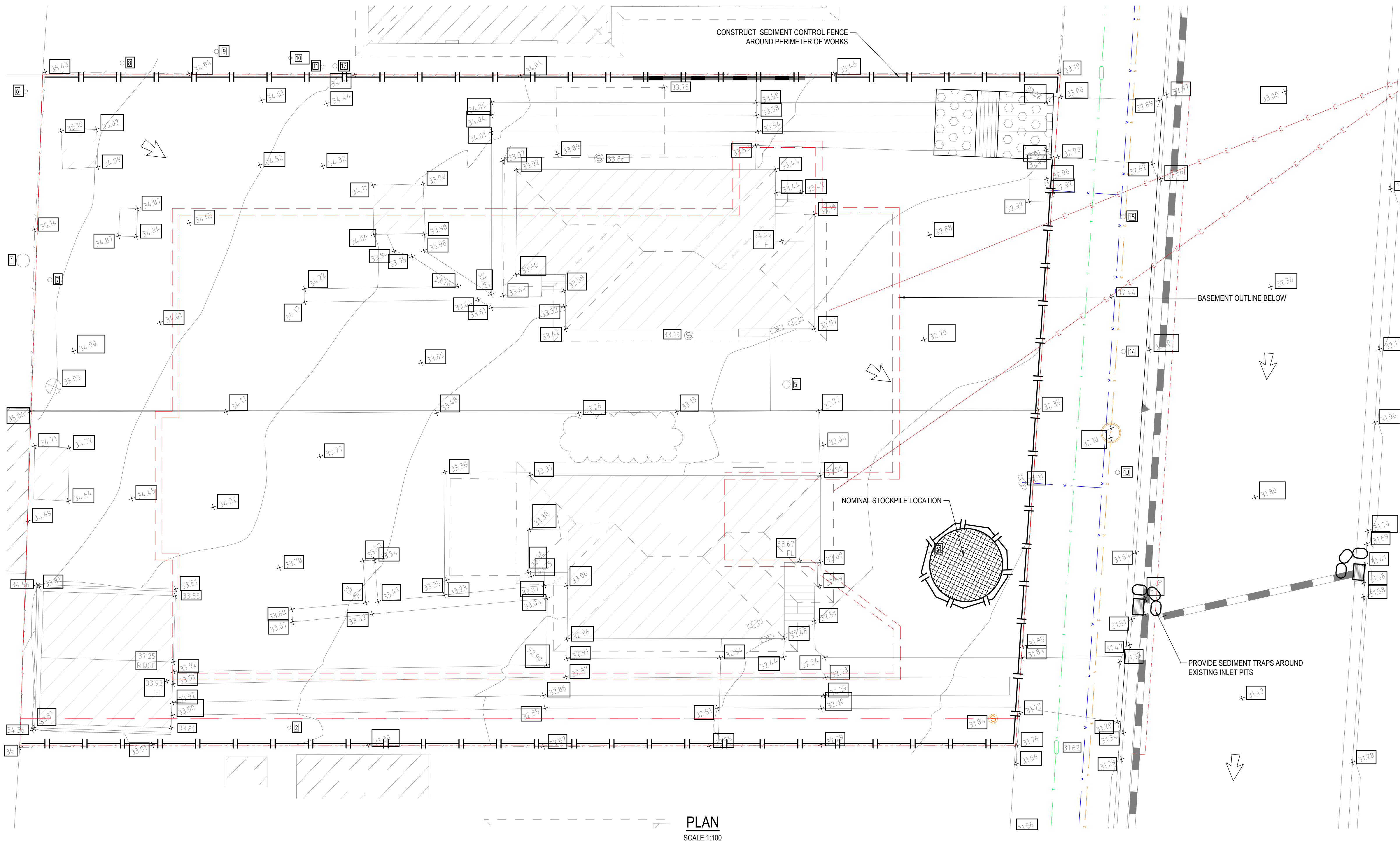
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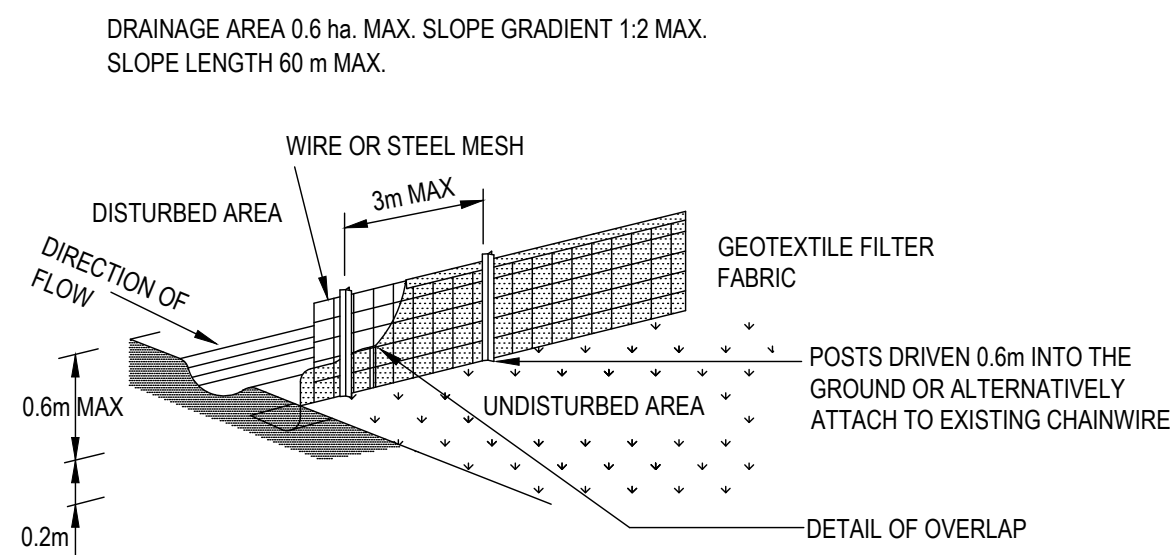
CLIENT	MCGREGOR WESTLAKE ARCHITECTURE LEVEL 5, 68-72 WENTWORTH AVENUE SURRY HILLS NSW 2010
ARCHITECT	MCGREGOR WESTLAKE ARCHITECTURE 68-72 WENTWORTH AVENUE, SURRY HILLS NSW 2010

PROJECT TITLE	LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145
DRAWING TITLE	BULK EARTHWORKS

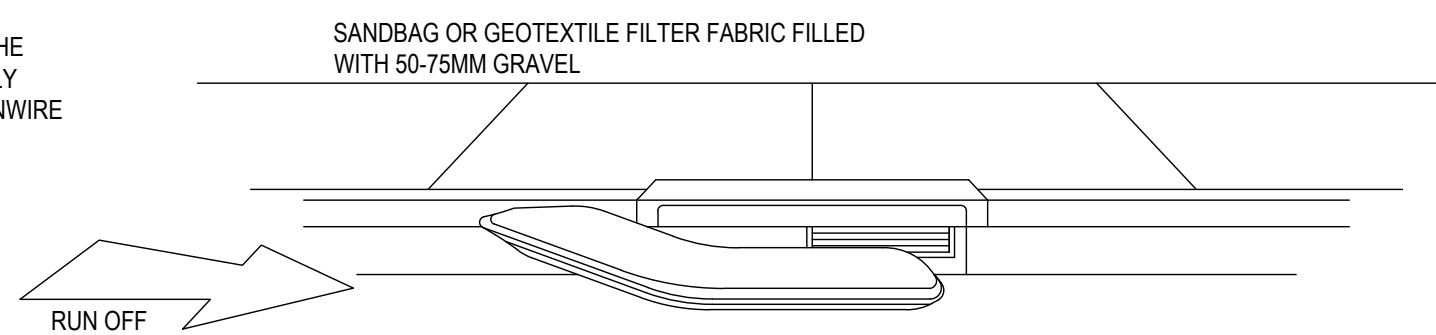
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PROJECT LEADER AW	DESIGNER HB	SIGNATURE	
DRAFTSPERSON HB	SCALE AS SHOWN	DATE DRAWN	SHEET SIZE A1
JOB No. SY212-030	DRAWING No. C201	REVISION C	



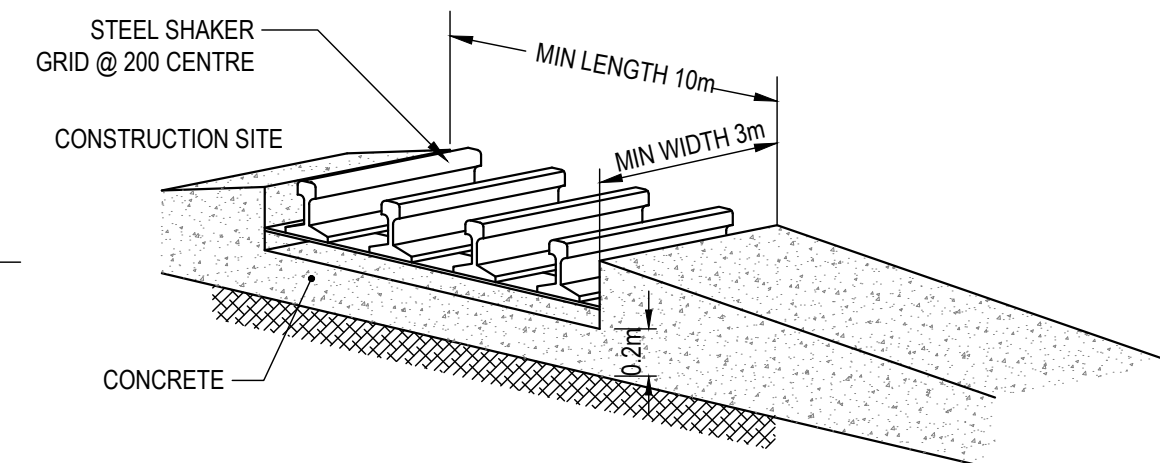
**GEOTEXTILE FILTER FABRIC INLET
SEDIMENT TRAP**
N.T.S.



SEDIMENT CONTROL FENCE
N.T.S.



SANDBAG KERB INLET SEDIMENT TRAP
NTS



**TEMPORARY CONSTRUCTION
VEHICLE EXIT**
N.T.S.

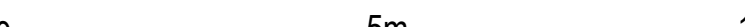
EROSION AND SEDIMENT NOTES

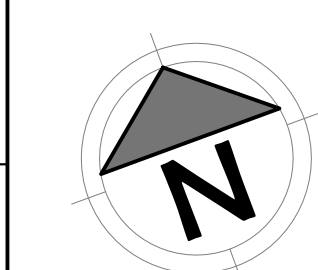
- B1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH EROSION AND SEDIMENT CONTROL DETAILS AS SHOWN
- B2. THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF AND DURING CONSTRUCTION. NO DISTURBANCE TO THE SITE SHALL BE PERMITTED OTHER THAN IN THE IMMEDIATE AREA OF THE WORKS AND NO MATERIAL SHALL BE REMOVED FROM THE SITE WITHOUT COUNCIL'S APPROVAL. ALL EROSION AND SEDIMENT CONTROL DEVICES TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH STANDARDS OUTLINED IN NSW DEPARTMENT OF HOUSING'S "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTIONS".
- B3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY, (I.E. ALL FOOTPATHS, BATTERS, SITE REGARDING AREAS, BASINS AND CATCHDRAINS). TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SILT LADEN RUNOFF.
- B4. THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL EROSION AND SEDIMENT CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM DEVICES SUCH THAT NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED OR AS DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- B5. VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO NOMINATED STABILISED ACCESS POINTS.
- B6. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL BY REGULAR WETTING DOWN (BUT NOT SATURATING) DISTURBED AREA.
- B7. PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENTS ARE REVEGETATED OR PAVED.
- B8. REVEGETATE ALL TRENCHES IMMEDIATELY UPON COMPLETION OF BACKFILLING.
- B9. ALL DRAINAGE PIPE INLETS TO BE CAPPED UNTIL :
A) DOWNPIPES CONNECTED
B) PITS CONSTRUCTED AND PROTECTED WITH SILT BARRIER
- B10. SILT FENCE MAINTENANCE INSPECTION TO BE CARRIED OUT EVERY 3 MONTHS AND AFTER EACH RAINFALL EVENT.
- B11. EROSION & SEDIMENT CONTROL SIGNAGE AVAILABLE FROM COUNCIL MUST BE ATTACHED TO THE MOST PROMINENT AVAILABLE STRUCTURE AND BE VISIBLE AT ALL TIMES WHEN ENTERING THE SITE FOR THE DURATION OF CONSTRUCTION.

LEGEND

- STORMWATER SEDIMENT TRAPS AT ALL PROPOSED PIT INLETS
- TEMPORARY CONSTRUCTION VEHICLE EXIT
- SEDIMENT CONTROL FENCE
- STOCKPILE AREA
- SANDBAG KERB INLET SEDIMENT TRAP

REVISIONS:			
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SCALE 1:100						
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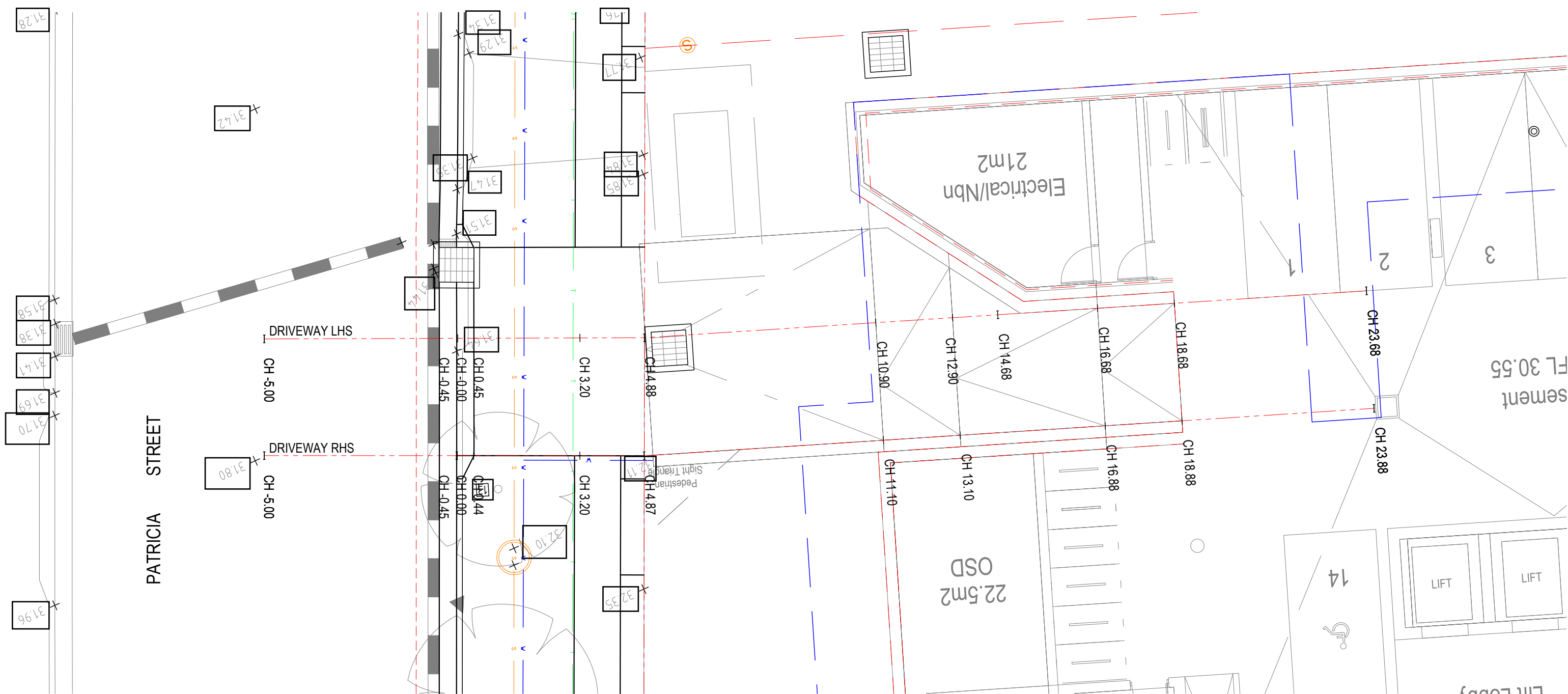
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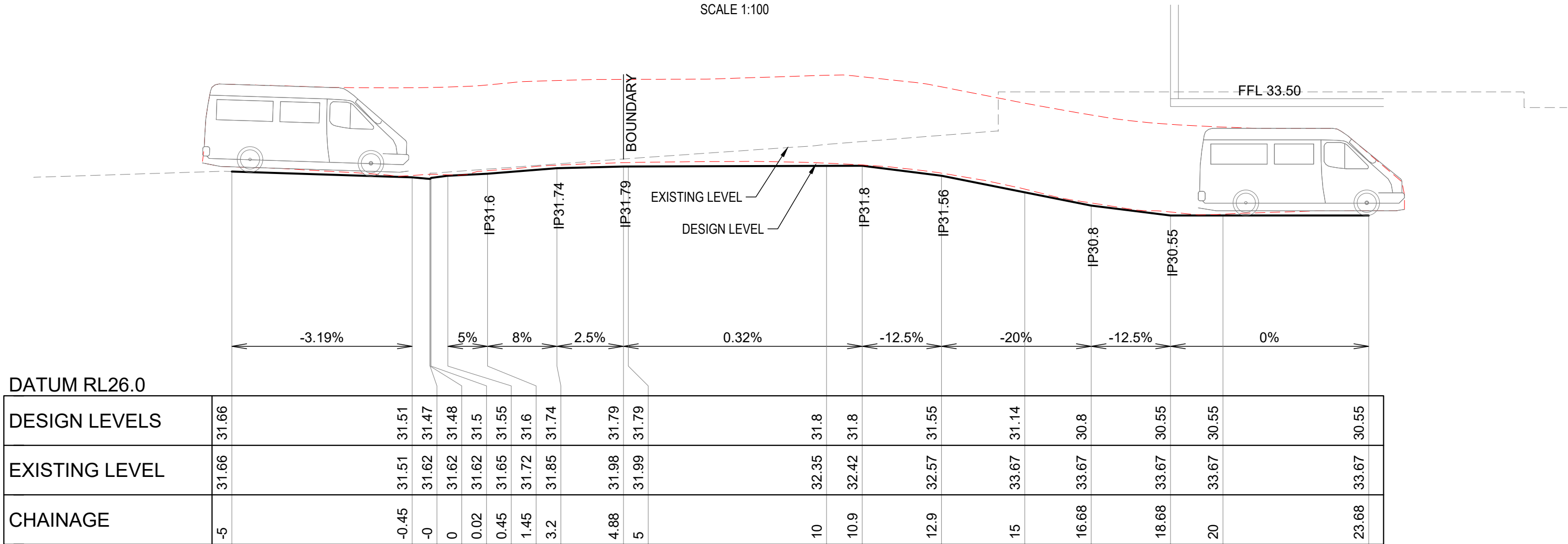
CLIENT	
MCGREGOR WESTLAKE ARCHITECTURE LEVEL 5, 68-72 WENTWORTH AVENUE SURREY HILLS NSW 2100	
ARCHITECT	
MCGREGOR WESTLAKE ARCHITECTURE 68-72 WENTWORTH AVENUE, SURREY HILLS NSW 2100	

PROJECT TITLE	
LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145	
DRAWING TITLE	
EROSION AND SEDIMENT CONTROL	

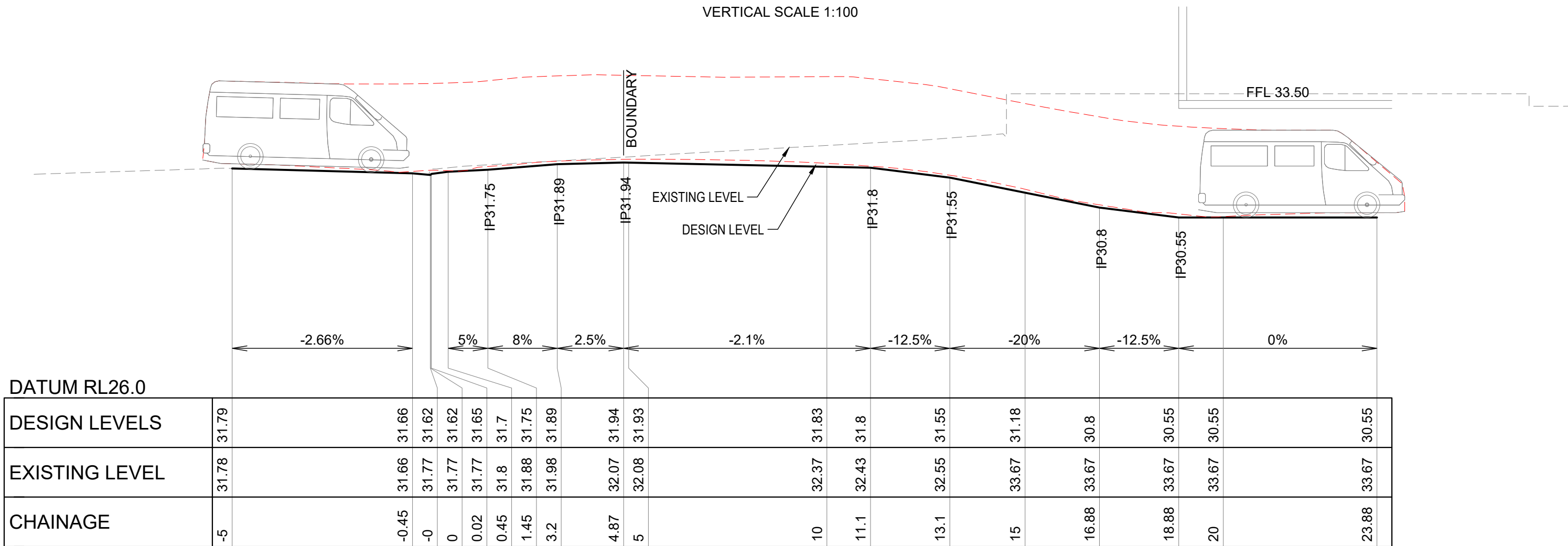
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APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
AW	HB		
DRAFTSPERSON	SCALE	DATE	SHEET SIZE
HB	AS SHOWN	DATE DRAWN	A1
JOB No.	DRAWING No.	REVISION	
SY212-030	C210		C



PLAN
SCALE 1:100



LHS LONG. SECTION
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100



RHS LONG. SECTION
HORIZONTAL SCALE 1:100
VERTICAL SCALE 1:100

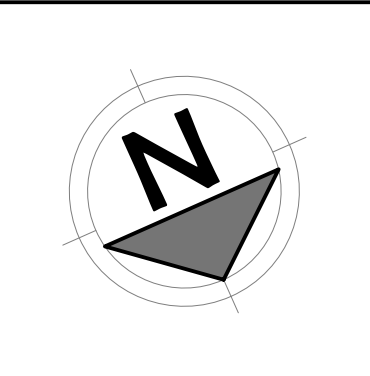
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SCALE BAR

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SCALE 1:100

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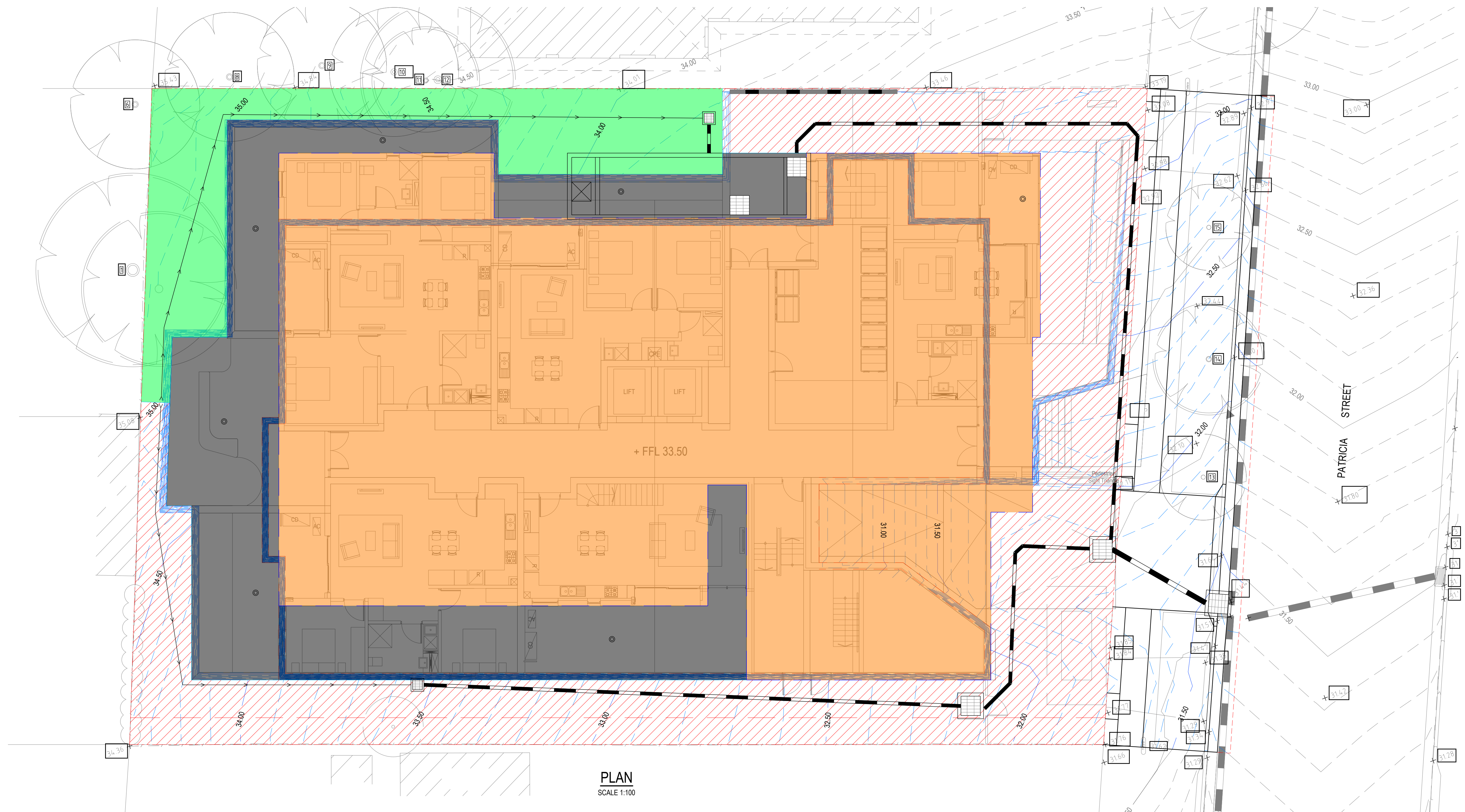
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ARCHITECT
MCGREGOR WESTLAKE ARCHITECTURE 68-72 WENTWORTH AVENUE, SURRY HILLS NSW 2010

PROJECT TITLE
LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145
DRAWING TITLE
PATRICIA STREET DRIVEWAY PLAN & LONG. SECTIONS

DRAWING STATUS			
APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION			
PROJECT LEADER	DESIGNER	SIGNATURE	
AW	HB		
DRAFTSPERSON	SCALE	DATE DRAWN	SHEET SIZE
HB	AS SHOWN		A1
JOB No.	DRAWING No.	REVISION	
SY212-030	C311		C

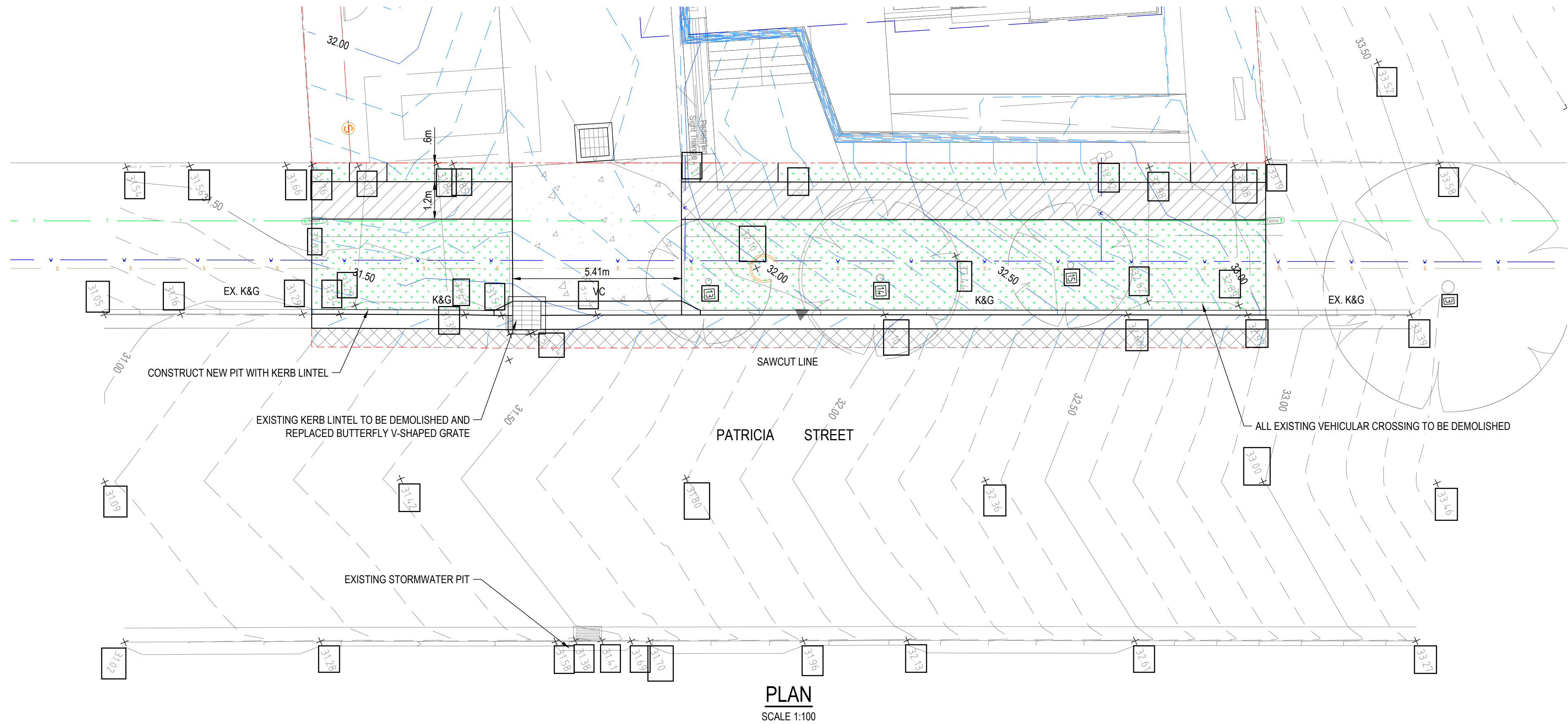
BY PASS OSD
340 m²



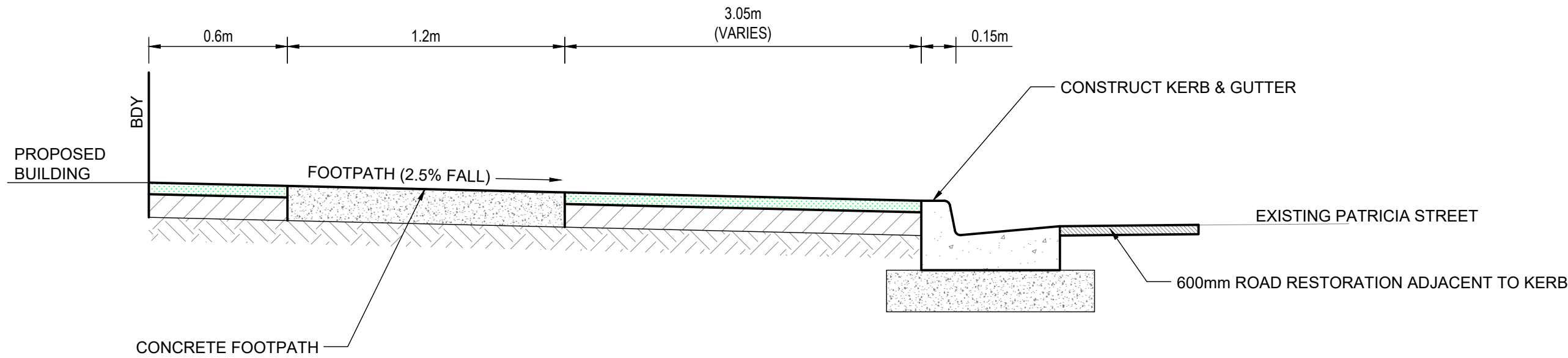
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[illegible]



LEGEND	
	FOOTPATH PAVEMENT AS PER CUMBERLAND CITY COUNCIL SPECIFICATION
	MIN.600mm WIDTH ROAD RESTORATION AS PER CUMBERLAND CITY COUNCIL SPECIFICATION
	LANDSCAPE AREA AS PER LANDSCAPE ARCHITECT DETAILS
	K&G CONCRETE KERB & GUTTER AS PER CUMBERLAND CITY COUNCIL SPECIFICATION
	VC VEHICULAR CROSSING AS PER CUMBERLAND CITY COUNCIL SPECIFICATION



PATRICIA STREET
TYPICAL SECTION
SCALE 1:20

REVISIONS:				SCALE BAR 0 1 2 3 4 5m 10m SCALE 1:100				 LEVEL 6, 39 CHANDOS STREET ST LEONARDS NSW 2065 Telephone 61-2-9436 0433 Fax 61-2-9436 1370		CLIENT MCGREGOR WESTLAKE ARCHITECTURE LEVEL 5, 68-72 WENTWORTH AVENUE SURRY HILLS NSW 2010		PROJECT TITLE LAHC - 14-16 PATRICIA STREET 14-16 PATRICIA STREET MAYS HILL NSW 2145		DRAWING STATUS APPROVAL ISSUE NOT TO BE USED FOR CONSTRUCTION	
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A	PRELIMINARY ISSUE	HB	17.09.21							DATE DATE DRAWN		SHEET SIZE A1			
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